



City of Pacific Grove
Architectural Review Board Staff Report
November 10, 2015

To: Chair Steres and Architectural Review Board Members

Submitted By: Laurel O'Halloran, Associate Planner

Subject: Consideration of Architecture Permit No. 15-607 for a property located at 50 Quarterdeck Way to allow a first floor addition of 525 sf and a second story addition of 491 sf including the addition of a 115 sf second story deck in the north /west rear to an existing one story 641 sf with the demolition of 250 sf to a single family residence for a total of a 2,415 sf two story residence.

Recommendation:

Review the application and consider a recommendation of approval.

Background and Project Description:

Application: AP 15-607

Location: 50 Quarterdeck Way

APN: 006-043-005

Applicant: Rick Steres

To allow a first floor addition of 525 sf and a second story addition of 491 sf including the addition of a 115 sf second story deck in the north/west rear to an existing one story 641 sf with the demolition of 250 sf to a single family residence for a total of a 2,415 sf two story residence.

The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements

Staff Analysis

R-1 Zoning Regulations: The allowable maximum building coverage is 40% and the proposed project site will have a building coverage of 37.9%. The allowable maximum site coverage is 60% and the proposed project site will have site coverage of 68.5% which they are reducing from the current 69.3% site coverage. The project should meet the required 60% site coverage. The allowable maximum gross floor area is 2,580 sf and the proposed project site will create a 2,415 sf residence.

Architectural Design Guidelines:

Guideline # 28: An addition should complement and balance the overall form, mass, and composition of the existing building.

The design, although maximizing the allowable gross floor area, complements the existing design and architectural style

Guideline # 31: Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.

The proposed new roof pitch completes the existing roof pitch.

Guideline #36: Design a façade to provide visual interest to the street.

The proposed addition and design uses feature projections such as the second story deck to soften the mass of the second story elevation

Alternatives:

The Board may approve the Architecture Permit application.

The Board may approve the AP with the condition that the site coverage meet the required 60%

The Board may continue the hearing with the applicants concurrence return with an alternate design.

The Board may deny the application

Environmental Review:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Attachments:

1. Draft AP
2. Application materials
3. Project Plans



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit Application

Application # AP 15-607

Date 9/29/15

Total Fee: \$ 3,530.54

Property/Project Information:

Project Address: 150 QUARTERDECK WAY APN: 006-043-005
Lot: 4 Block: 269 Tract: Beach
Historic Resources Inventory
Archaeologically Sensitive Area

Project Description: Demolish 250 sq ft of existing house, build new 1016 sq ft 2-story addition

Applicant/Owner Information:

Applicant Name: Rick Steres Phone: 646-1131
Mailing Address: 230 Fountain Ave. Suite 6 Pacific Grove 93950
Email Address: ricksteres@hotmail.com

Owner Name: SANDRA KALINOWSKI Phone: 641-0327
Mailing Address: 150 Quarterdeck Way P.G. 93950
Email Address:

Permit Request:

- CRD: Counter Determination AUP: Administrative UP IHS: Initial Historic Screening AVAR: Administrative VAR
AP: Architectural Permit UP-A: UP Amendment HPP: Historic Preservation VAR-A: VAR Amendment
AAP: Administrative AP AUP-A: AUP Amendment HD: Historic Determination AVAR-A: AVAR Amendment
ADC: AP Design Change SU: Second Unit TPD: Tree Permit W/ Dev't MMP: Mitigation Monitoring
SP: Sign Permit LLA: Lot Line Adjustment PUU: Undocumented Unit Stormwater Permit
UP: Use Permit LM: Lot Merger VAR: Variance Other:

CEQA Determination:

- Exempt
Initial Study & Mitigated Negative Declaration
Environmental Impact Report

Review Authority:

- Staff HRC
ZA PC
SPRC CC
ARB

Active Permits:

- Active Planning Permit
Active Building Permit
Active Code Violation
Permit #:

Overlay Zones:

- Butterfly Zone
Coastal Zone
Area of Special Biological Significance (ASBS)
Environmentally Sensitive Habitat Area (ESHA)

Staff Use Only:

Land use: Med. Dens to 17.4 D0/ac
Lot size: 5,120 sf
R-1

PAID 3530.54 9/29/15

CERTIFICATION - I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: [Signature]

Date: 9/17/2015

Owner Signature (Required): Sandra Kalinowski

Date: 10/21/15

PROJECT DATA SHEET

Project Address: 50 Quarterdeck WaySubmittal Date: 9-17-2015Applicant(s): Rick SteresPermit Type(s) & No(s): AP15-607

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area		5,120 sq.ft.		
Density (multi-family projects only)				
Building Coverage	40%	32.5%	37.9%	
Site Coverage	60%	69.3%	68.5%	
Gross Floor Area	2580	1649	2415	
Square Footage not counted towards Gross Floor Area		0	0	
Impervious Surface Area Created and/or Replaced			0	
Exterior Lateral Wall Length to be demolished in feet & % of total*	183 l.f.		39 l.f. 4.7%	
Exterior Lateral Wall Length to be built			N/A	
Building Height	25'	16'-9"	24'-4"	
Number of stories	2	1	2	
Front Setback	15'	15'	15'	
North _____ Side Setback (specify side)	6'-4"	6'-4"	6'-4"	
South _____ Side Setback (specify side)	10'-0"	10'-0"	10'-0"	
Rear Setback	10'	17'-9"	10'-0"	
Garage Door Setback	20'	14'-9"	14'-9"	
Covered Parking Spaces	1	1	1	
Uncovered Parking Spaces	1	1	1	
Parking Space Size (Interior measurement)	9' x 20'	9'x20'	9'x20'	
Number of Driveways	1	1	1	
Driveway Width(s)	24'	14'-6"	14'-6"	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	6'-10"	6'-10"	Front Porch
Distances Between Eaves & Property Lines	3' minimum	16"	16"	Front Porch
Open Porch/Deck Projections		4'-6"	4'-6"	Front Porch
Architectural Feature Projections		N/A	N/A	
Number & Category of Accessory Buildings		0	0	
Accessory Building Setbacks		0	0	
Distance between Buildings		0	0	
Accessory Building Heights		0	0	
Fence Heights	6'	6'	6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 15-607

FOR A PROPERTY LOCATED AT 50 QUARTERDECK WAY TO ALLOW A FIRST FLOOR ADDITION OF 525 SF AND A SECOND STORY ADDITION OF 491 SF INCLUDING THE ADDITION OF A 115 SF SECOND STORY DECK IN THE REAR TO AN EXISTING ONE STORY 641 SF WITH THE DEMOLITION OF 250 SF TO A SINGLE FAMILY RESIDENCE FOR A TOTAL OF A 2,415 SF TWO STORY RESIDENCE.

FACTS

1. The subject site is located at 50 Quarterdeck Way, Pacific Grove, 93950 APN 006-043-005
2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is 5,120 square feet.
5. The subject site is developed with a single story single family dwelling.
6. The subject site is located in an Archeological sensitive area and an Archeological report was prepared by Susan Morley in March of 2006.
7. The subject site is located in the area of Special Biological Significance Watershed.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines 28, 31, 36 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 15-607 for a property located at 50 Quarterdeck Way to allow a first floor addition of 525 sf and a second story addition of 491 sf including the addition of a 115 sf second story deck in the rear to an existing one story 641 sf with the demolition of 250 sf to a single family residence for a total of a 2,415 sf two story residence.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees
7. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
9. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
10. **Site Coverage.** The required 60% site coverage needs to be met.
11. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.

- 2. The Board authorizes Approval of Architectural Permit (AP) 15-607 to allow a first floor addition of 525 sf and a second story addition of 491 sf including the addition of a 115 sf second story deck in the rear to an existing one story 641 sf with the demolition of 250 sf to a single family residence for a total of a 2,415 sf two story residence.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 10th day of November, 2015, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

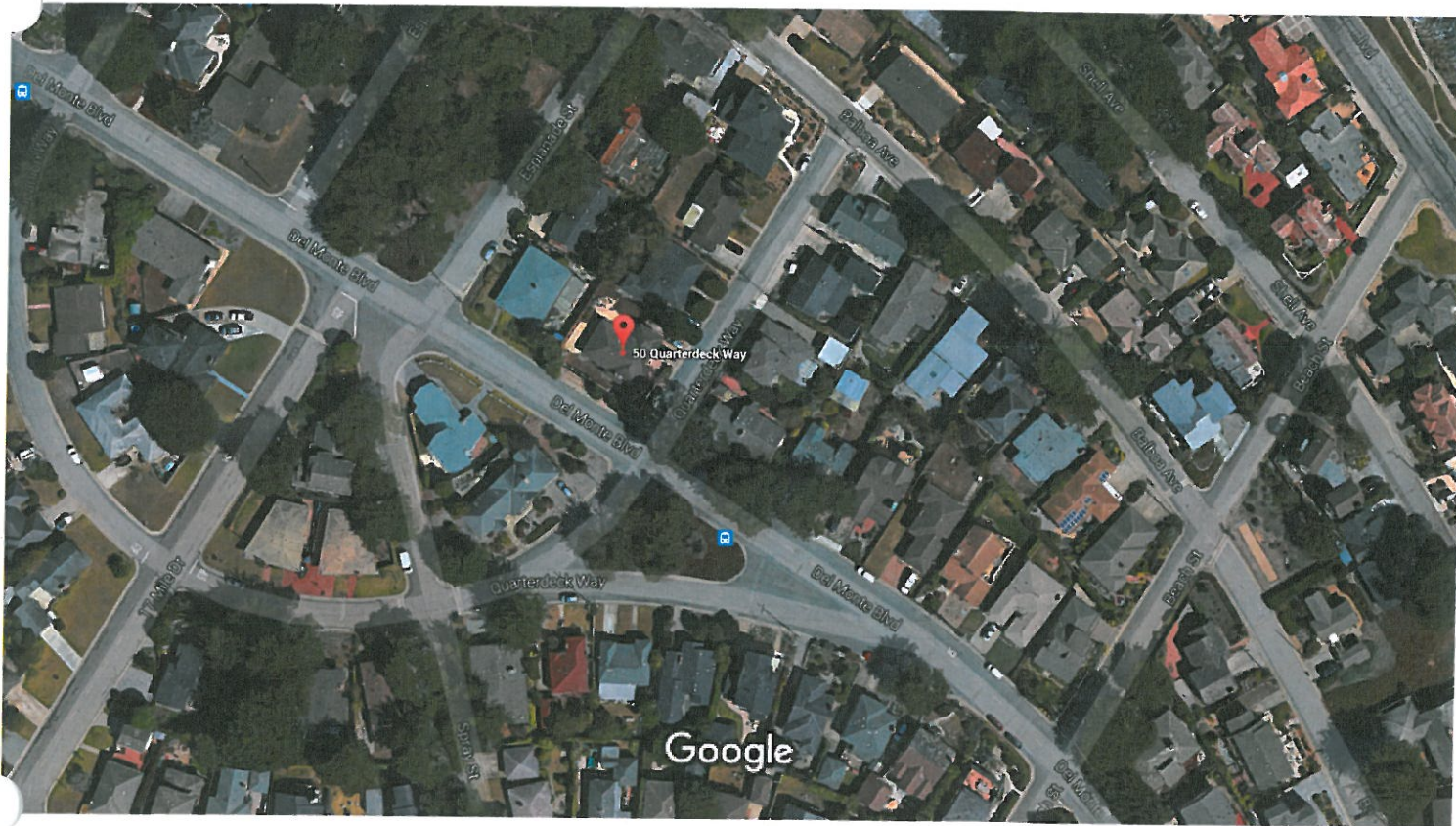
Sandra Kalinowski, Owner

Date

10/15/2015

50 Quarterdeck Way - Google Maps

Google Maps 50 Quarterdeck Way



Imagery ©2015 Google, Map data ©2015 Google 50 ft

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SEP 29 2015

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT



Front (Quarterdeck Way)

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SEP 29 2015

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

South (Del Monte Blvd.) side

REVISIONS	BY

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 831-646-1131
 230 Fountain Ave. Suite 6, Pacific Grove, CA 93950
 ricksteresarchitect.com
 ricksteres@ricksteres.com

ARCHITECT VINNOLTA
 C 14191
 RICHARD B. STERES
 APR 30, 2017
 230 FOUNTAIN AVE. SUITE 6
 PACIFIC GROVE, CA 93950

Cover Sheet

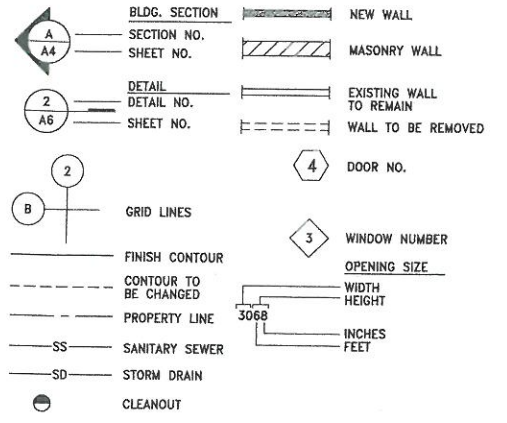
BATHROOM ADDITION
Kalinowski Residence
 50 QUARTERDECK WAY, PACIFIC GROVE, CA 93950

DATE:	SEPTEMBER 2015
SCALE:	
JOB NUMBER:	1505
SHEET:	C0
OF 10 SHEETS	

Abbreviations

#	AND	J.M.	JANITOR
<	ANGLE	J.H.	JOIST HANGER
⊕	ANCHOR BOLT	K.T.	KITCHEN
A.B.	ASPHALT CONCRETE	L.M.	LAMINATE
A.C.	ACRE	L.V.	LAVATORY
ACCUS	ACOUSTICAL	L.T.	LIGHT
A/C	AIR CONDITIONING	M.B.	MACHINE BOLT
ADJ.	ADJUSTABLE	M.D.	MASONRY
AGG.	AGGREGATE	M.L.	MASON
ALUM.	ALUMINUM	M.M.	METAL
ALT.	ALTERNATE	M.N.	METAL NAIL
AND.	ANDICED	M.P.	METAL PAPER
APPROX.	APPROXIMATELY	M.R.	METAL ROD
APT.	APARTMENT	M.S.	MISCELLANEOUS
ARCH.	ARCHITECT	M.T.	MATERIAL
ASPH.	ASPHALT	M.W.	MISCELLANEOUS WALL
AVE.	AVENUE	M.Z.	MISCELLANEOUS

Symbols



Directory

OWNERS: SANDRA GREEN KALINOWSKI
 50 QUARTERDECK WAY
 PACIFIC GROVE, CA 93950
 (831) 641-0327

ARCHITECT: RICK STERES
 230 FOUNTAIN AVE. SUITE 6
 PACIFIC GROVE, CA 93950
 (831) 646-1131

General Notes

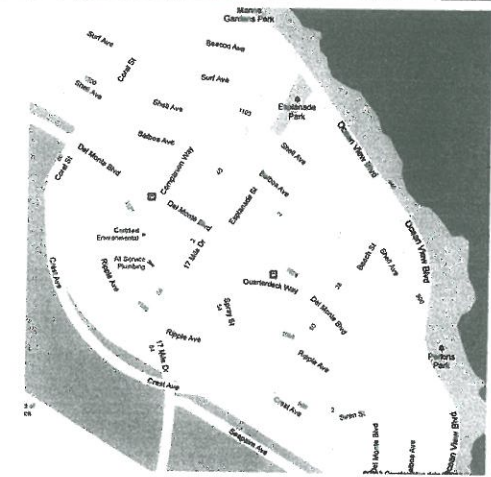
PROJECT SHALL COMPLY WITH THE FOLLOWING REFERENCE CODES:
 2010 CALIFORNIA ENERGY CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA PLUMBING CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA FIRE CODE
 2013 CALIFORNIA RESIDENTIAL CODE
 2010 CALIFORNIA GREEN BUILDING CODE

WATER AND GAS LINE SIZING DIAGRAMS SHALL BE SUBMITTED TO THE BLDG. DEPT. PRIOR TO ROUGH PLUMBING INSPECTION.

THE SIZE OF EACH SECTION AND EACH OUTLET OF ANY SYSTEM OF GAS PIPING SHALL BE IN ACCORDANCE WITH CPC APPENDIX B CHAPTER 13.

THE SIZE OF EACH WATER METER, POTABLE WATER SUPPLY PIPE, OR OTHER SOURCE OF SUPPLY BRANCHES, RISERS, FIXTURES, CONNECTIONS, OUTLETS OR OTHER USES SHALL BE BASED ON THE TOTAL DEMAND AND SHALL BE IN ACCORDANCE WITH CPC SECT. 610.8.

ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.



Vicinity Map Project Data:

SCOPE OF WORK:

A.P.N. 006-043-005
 RECORDED MAP REFERENCE LOT 4, BLK. 269, BEACH TRACT
 ZONE R-1
 LOT SIZE 5,120 SQ.FT.
 OCCUPANCY TYPE R-3 / U
 CONSTRUCTION TYPE VB WITH OCCUPANCY SEPARATION BTWN. HOUSE AND GARAGE

Grading & Drainage Notes

ALL CUT AND FILL SHALL HAVE A MAXIMUM SLOPE OF 2 HORIZ. TO 1 VERT.
 ALL FILL SHALL COMPACTED TO 90% RELATIVE COMPACTION.
 DRAINAGE AWAY FROM BUILDING PAD: PROVIDE 5% SLOPE AWAY FROM BUILDING STRUCTURES FOR A DISTANCE OF 10 FT. MINIMUM.
 RELOCATION OR ADJUSTMENT OF DRAIN LINES MAY BE REQUIRED IF CONFLICT OCCURS WITH UTILITY LINES OR TREE ROOTS.
 ALL SITE DRAINAGE LINES SHALL BE SMOOTH PVC SDR-35, SLOPE 2% MINIMUM. PERFORATED PIPE SHALL BE INSTALLED WITH PERFORATIONS DOWN.
 ALL DOWNSPOUTS THAT DO NOT DISCHARGE DIRECTLY INTO A DRAINLINE OR ONTO PAVEMENT SHALL SPILL ONTO 12"x16" SPLASH BLOCKS.

SPECIAL INSPECTION

SPECIAL INSPECTION PER CBC 1704 IS REQUIRED FOR:
 EPOXY-SET ANCHOR BOLTS.

THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE BUILDING DEPT. PRIOR TO PERFORMING ANY DUTIES. A PRECONSTRUCTION CONFERENCE WITH THE PARTIES INVOLVED MAY BE REQUIRED TO REVIEW THE SPECIAL INSPECTION REQUIREMENTS AND PROCEDURES.

Fire Department Notes

EVERY NEW SINGLE AND TWO FAMILY DWELLING SHALL HAVE AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED (NFPA 13-D) STARTING JANUARY 1, 2011.

EXISTING GROUP R, DIV. 3 BUILDINGS TO WHICH ADDITIONS, ALTERATIONS, OR REPAIRS ARE MADE THAT INVOLVE THE REMOVAL OR REPLACEMENT OF 50% OF LINEAR FOOTAGE OF WALLS OR MORE (EXTERIOR + INTERIOR) WITHIN A 1 YEAR PERIOD SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED PER NFPA 13-D.

EXCEPTION: R-1 DIV. 3, 1-STORY HOMES OF LESS THAN 1,500 SQ.FT. (EXISTING + ADDITIONS) SHALL NOT BE REQUIRED TO PROVIDE A FIRE SPRINKLER SYSTEM.

CURRENT EXISTING LINEAR LENGTH OF WALLS (EXTERIOR PLUS INTERIOR): 328 L.F.
 LINEAR LENGTH OF WALLS IN WHICH ALTERATIONS OR REPAIRS ARE MADE THAT INVOLVE REMOVAL OR REPLACEMENT (INTERIOR PLUS EXTERIOR): 49.5 L.F.
 ALL LINEAR LENGTH OF NEW CONSTRUCTION (EXTERIOR PLUS INTERIOR): 254 L.F.

PROJECT DATA SHEET

Project Address: 50 Quarterdeck Way Submittal Date: 9-17-2015

Applicant(s): Rick Steres Permit Type(s) & No(s):

Zone District	REQUIREMENTS/Permitted	Existing Condition	Proposed Condition	Notes
Building Site Area	R-1	5,120 sq.ft.		
Density (multi-family projects only)				
Building Coverage	40%	32.9%	37.9%	
Site Coverage	60%	69.3%	68.5%	
Gross Floor Area	2580	1649	2415	
Square Footage not counted towards Gross Floor Area		0	0	
Impervious Surface Area Created and/or Replaced			0	
Exterior Lateral Wall Length to be demolished in feet & % of total*	183 L.F.		391 L.F. 4.7%	
Exterior Lateral Wall Length to be built			N/A	
Building Height	25'	16'-9"	24'-4"	
Number of stories	2	1	2	
Front Setback	15'	15'	15'	
North Side Setback (specify side)	6'-4"	6'-4"	6'-4"	
South Side Setback (specify side)	10'-0"	10'-0"	10'-0"	
Rear Setback	10'	17'-9"	10'-0"	
Garage Door Setback	20'	14'-9"	14'-9"	
Covered Parking Spaces	1	1	1	
Uncovered Parking Spaces	1	1	1	
Parking Space Size (Interior measurement)	9' x 20'	9' x 20'	9' x 20'	
Number of Driveways	1	1	1	
Driveway Width(s)	24'	14'-6"	14'-6"	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	6'-10"	6'-10"	Front Porch
Distances Between Eaves & Property Lines	3' minimum	16"	16"	Front Porch
Open Porch/Deck Projections		4'-6"	4'-6"	Front Porch
Architectural Feature Projections		N/A	N/A	
Number & Category of Accessory Buildings		0	0	
Accessory Building Setbacks		0	0	
Distance between Buildings		0	0	
Accessory Building Heights		0	0	
Fence Heights		6'	6'	

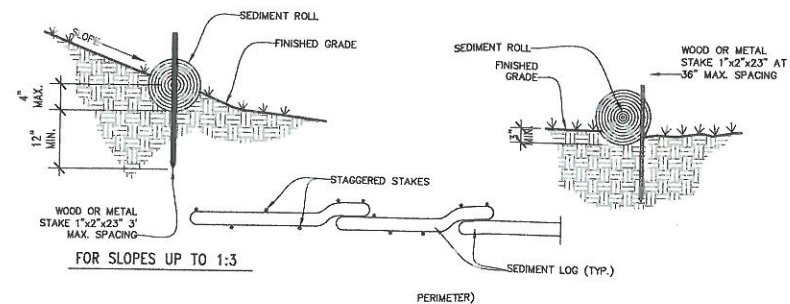
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SEP 29 2015

CITY OF PACIFIC GROVE
 COMMUNITY DEV DEPT

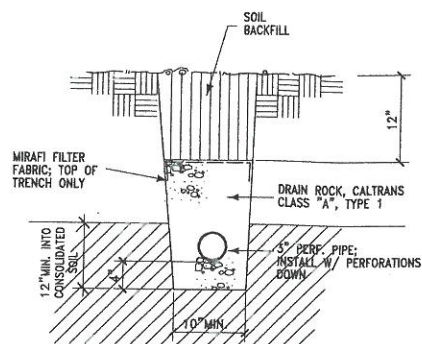
Sheet Index

SHEET NO.	DESCRIPTION
C0	ARCHITECTURAL COVER SHEET
C1	SITE, GRADING & DRAINAGE PLAN
A1	FLOOR PLAN & ELECTRICAL PLAN
A2	NORTH & EAST EXTERIOR ELEVATIONS
A3	SOUTH & WEST EXTERIOR ELEVATIONS
A4	DETAILS, ROOF PLAN, BUILDING SECTION
S1	STRUCTURAL STRUCTURAL SPECIFICATIONS
S2	STANDARD STRUCTURAL DETAILS
S3	FOUNDATION AND FIRST FLOOR FRAMING PLAN
S4	ROOF FRAMING PLAN
SP1	SPECIFICATIONS SPECIFICATIONS



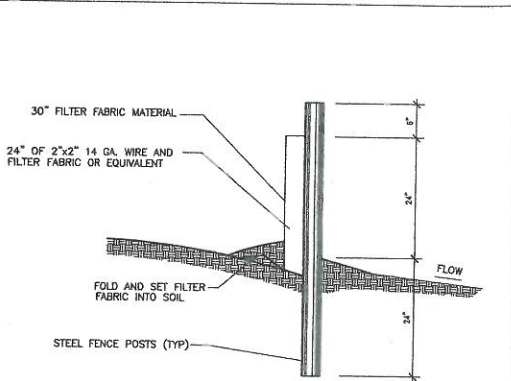
1 SEDIMENT LOG (TO BE USED ON SLOPES AT PROPERTY)

1"=1'-0"



3 CURTAIN DRAIN

1"=1'-0"



2 SILT FENCE

EROSION CONTROL NOTES

EROSION CONTROL

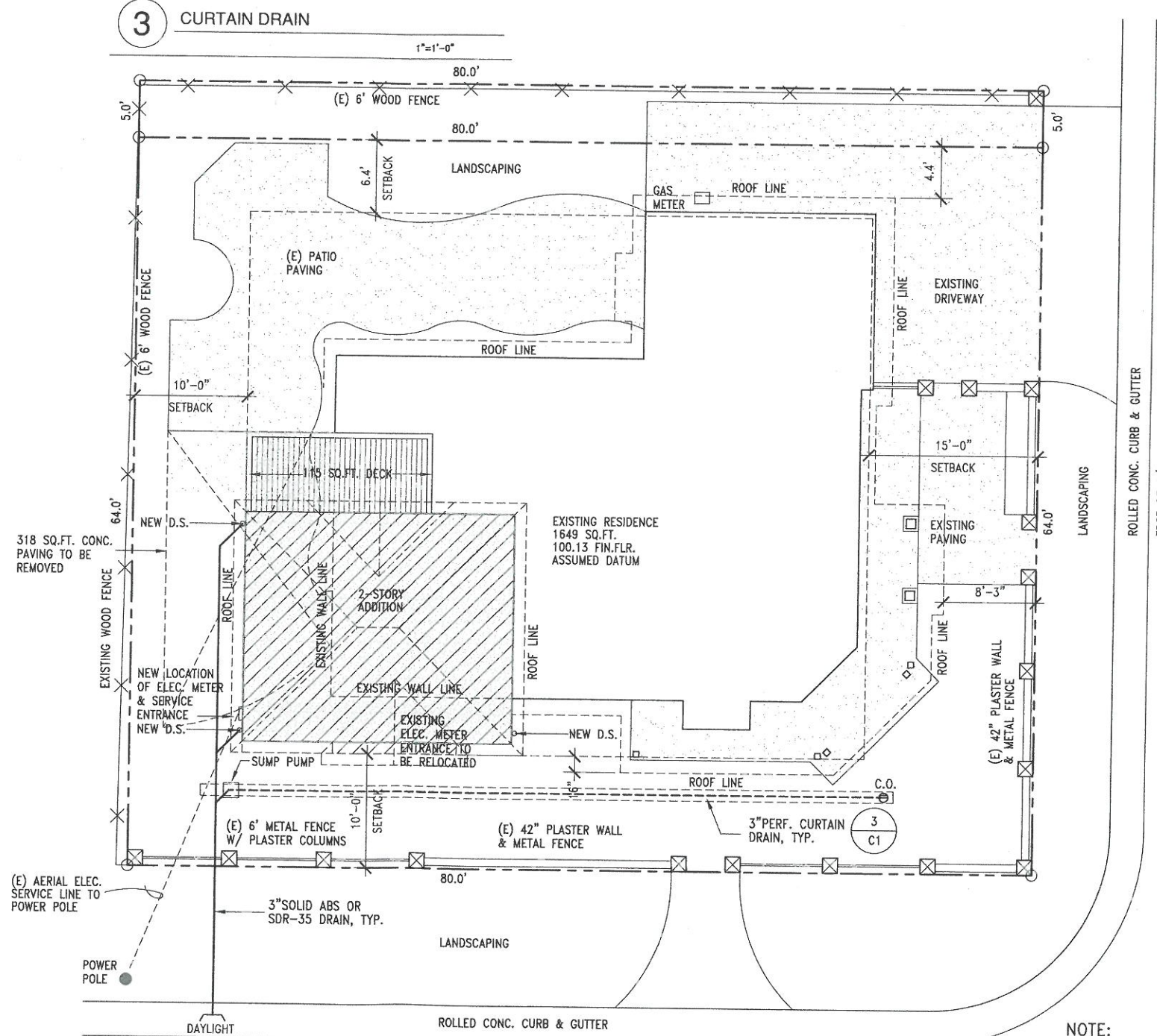
Erosion Control Measures as specified in Monterey County Ordinance #2806 shall be in place at the end of each day's work between October 15 and April 15.

All disturbed surfaces resulting from grading operations shall be prepared and maintained to control erosion. This control may consist of effective planting, such as rye grass, barley or some other fast germinating seed. The protection for the slopes shall be installed as soon as practicable and prior to calling for final inspection.

The Building Official may require watering of planted areas to assure growth.

Where it is determined by the Building Official that cut slopes are not subject to erosion due to the erosion-resistant character of the materials, such protection may be omitted.

Silt Fences, sediment logs, riprap, straw bales, erosion control netting and/or other devices and methods shall be employed to control erosion.



Site Plan & Temporary Erosion Control



NOTE:
THE PROPERTY LINES AND LOCATIONS OF EXISTING STRUCTURES WERE BASED ON INFORMATION SUPPLIED BY THE OWNER; THE PROPERTY DESCRIPTION CONTAINED IN THE GRANT DEED, THE RECORDED MAP AND ORIGINAL DRAWINGS ON FILE IN THE CITY OF PACIFIC GROVE OFFICES. A CERTIFIED LAND SURVEY WAS NOT PROVIDED.

REVISIONS	BY

Rick Steres Architect
 Phone & Fax: 814-646-1151
 230 Foundry Avenue Suite 6, Pacific Grove, CA 93950
 Email: ricksteres@hotmail.com
 ricksteresarchitect.com

ARCHITECT VINCENTIA CA
 C 14191
 RICHARD B. STERES
 APR 28 2017
 10:28 AM
 STATE OF CALIFORNIA

Site Plan & Temporary Erosion Control

BATHROOM ADDITION
Kalinowski Residence
 50 QUARTERDECK WAY, PACIFIC GROVE, CA 93950

DATE	SEPTEMBER 2015
SCALE	1/8"=1'-0"
JOB NUMBER	1505
SHEET	C1
OF 10 SHEETS	

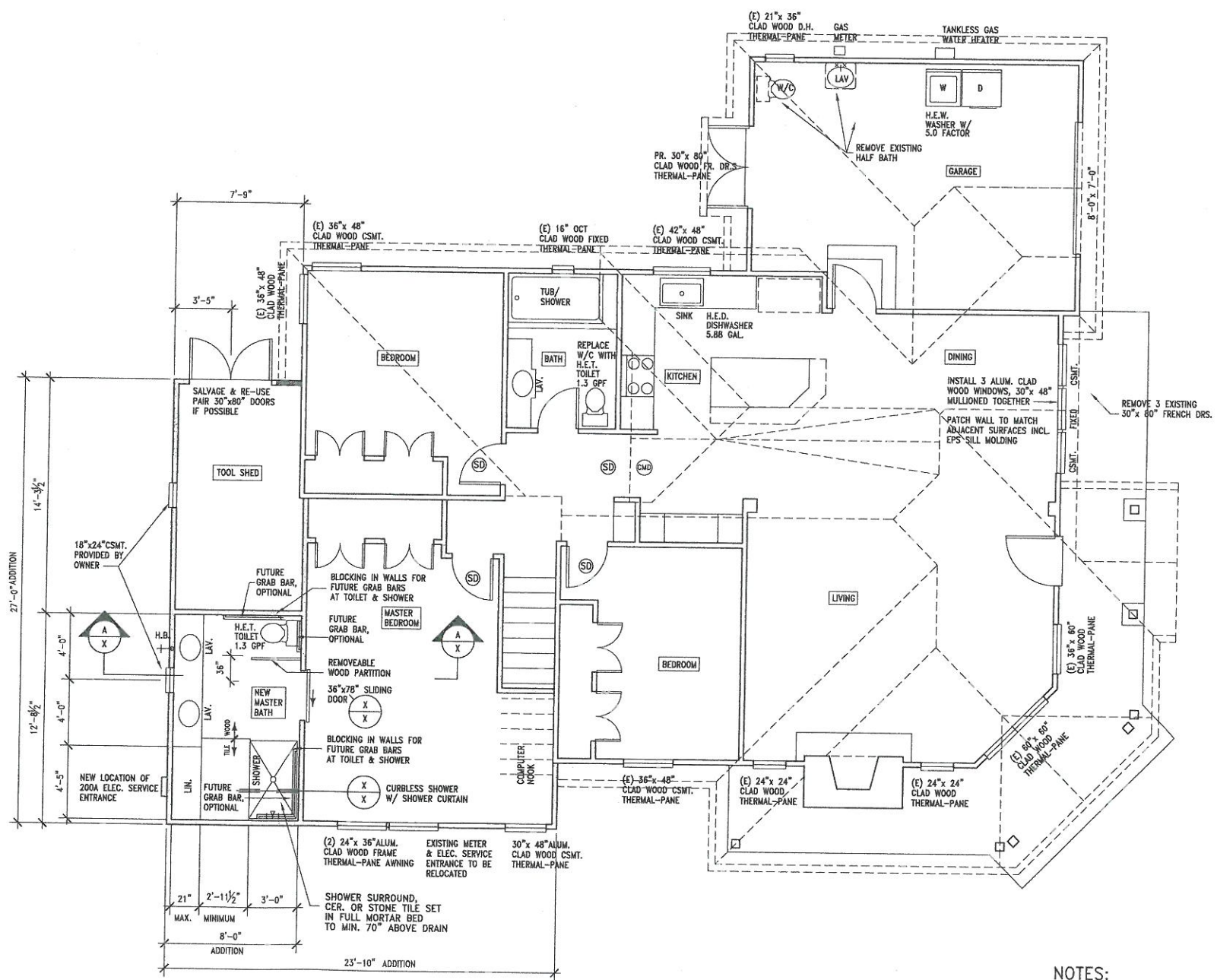
REVISIONS	BY

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 23000 Linderoth Avenue Suite 6, Pacific Grove, CA 93950
 Email: rickstere@rickstere.com
 Web Site: ricksterearchitect.com

ARCHITECT VINCE VINTAGE
 C 14191
 RICHARD B. STERES
 APR. 30, 2017
 STATE OF CALIFORNIA
 LICENSED ARCHITECT

1st Floor Plan
 BATHROOM ADDITION
Kalinowski Residence
 50 QUARTERBACK WAY, PACIFIC GROVE, CA 93950

DATE
SEPTEMBER 2015
SCALE
1/4" = 1'-0"
JOB NUMBER
1505
SHEET
A1
OF 10 SHEETS



1st Floor Plan

NOTES:
 TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

EMERGENCY EGRESS WINDOWS:
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT.
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH.
 MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT.
 MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED. LABEL SHALL SHOW SHGC, U-FACTOR, AIR LEAKAGE, AND VISIBLE TRANSMITTANCE.



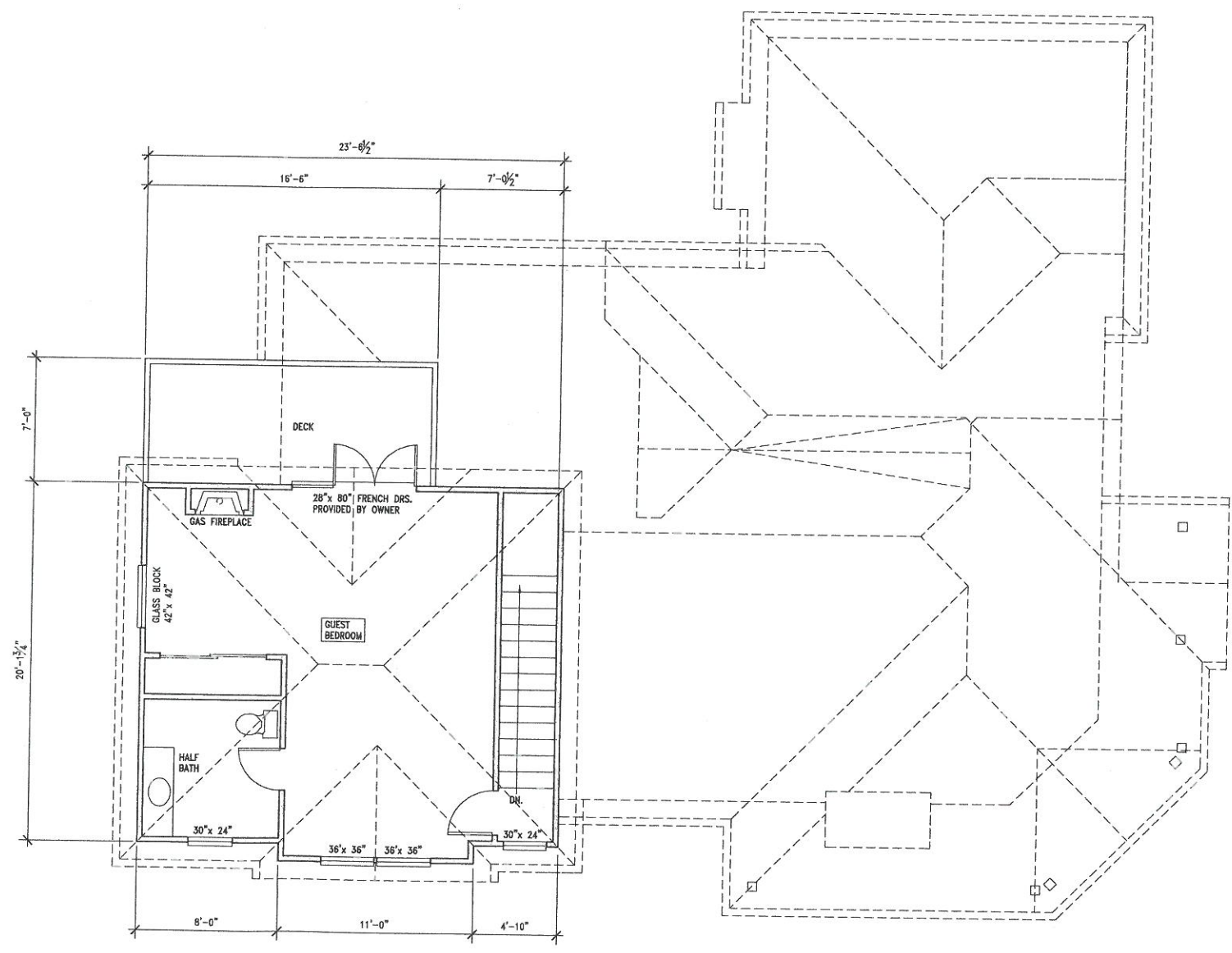
REVISIONS	BY

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LICENSED ARCHITECT VINROBERT
 C 14191
 RICHARD B. STERES
 APR 30, 2017
 STATE OF CALIFORNIA

2nd Floor Plan
 BATHROOM ADDITION
Kalinowski Residence
 50 QUARTERDECK WAY, PACIFIC GROVE, CA 93950

DATE	AUGUST 2015
SCALE	1/4"=1'-0"
JOB NUMBER	1111
SHEET	A2
OF 3 SHEETS	



2nd Floor Plan



NOTES:
 TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

EMERGENCY EGRESS WINDOWS:
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT.
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH.
 MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT.
 MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED. LABEL SHALL SHOW SHGC, U-FACTOR, AIR LEAKAGE, AND VISIBLE TRANSMITTANCE.

REVISIONS	BY

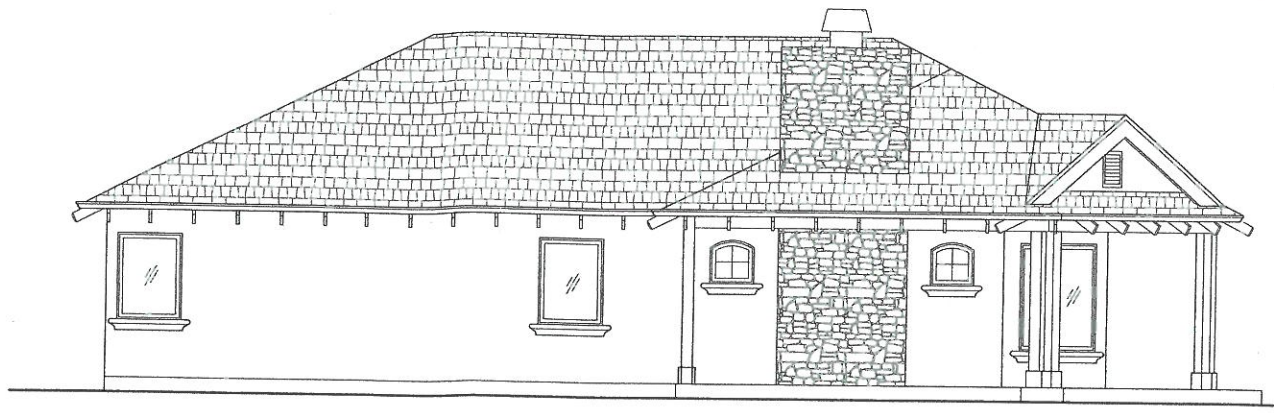
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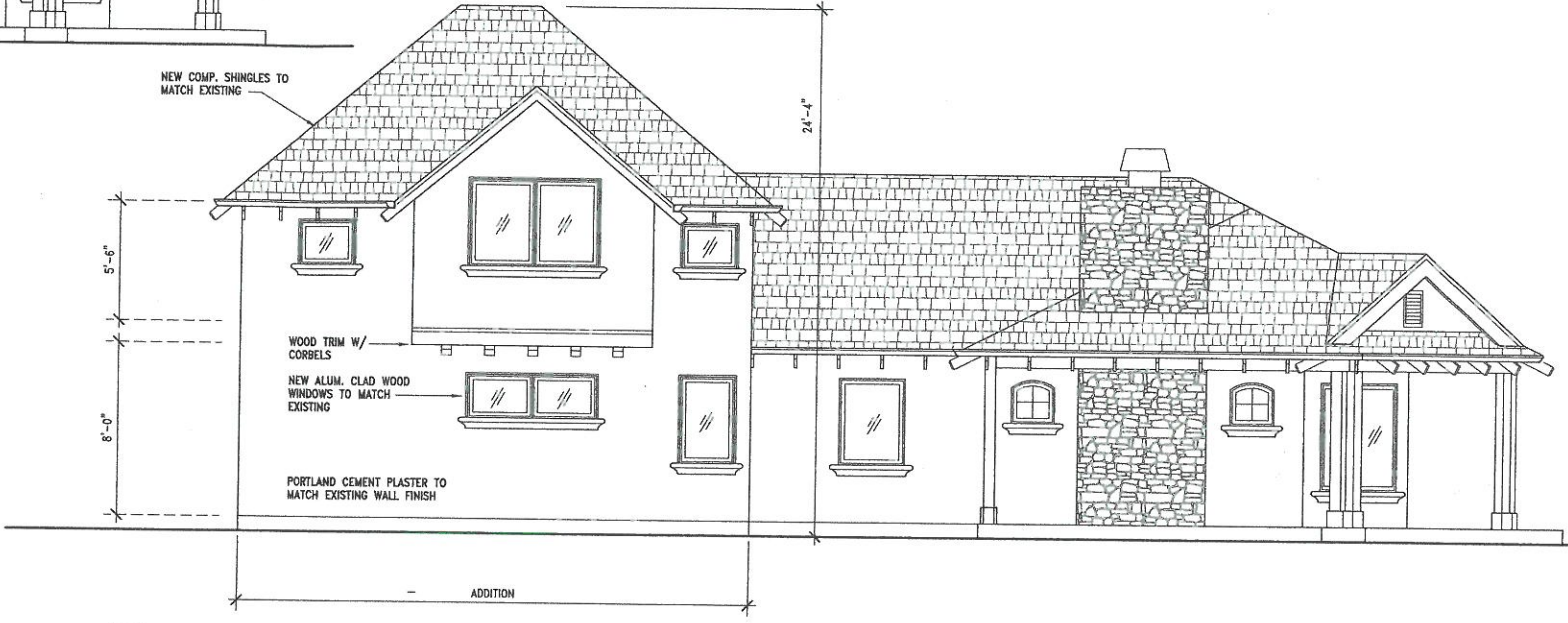
South & West Exterior Elevations
 BATHROOM ADDITION
Kalinowski Residence
 50 QUARTERDECK WAY, PACIFIC GROVE, CA 93950

DATE: SEPTEMBER 2015
 SCALE: 1/4"=1'-0"
 JOB NUMBER: 1505
 SHEET

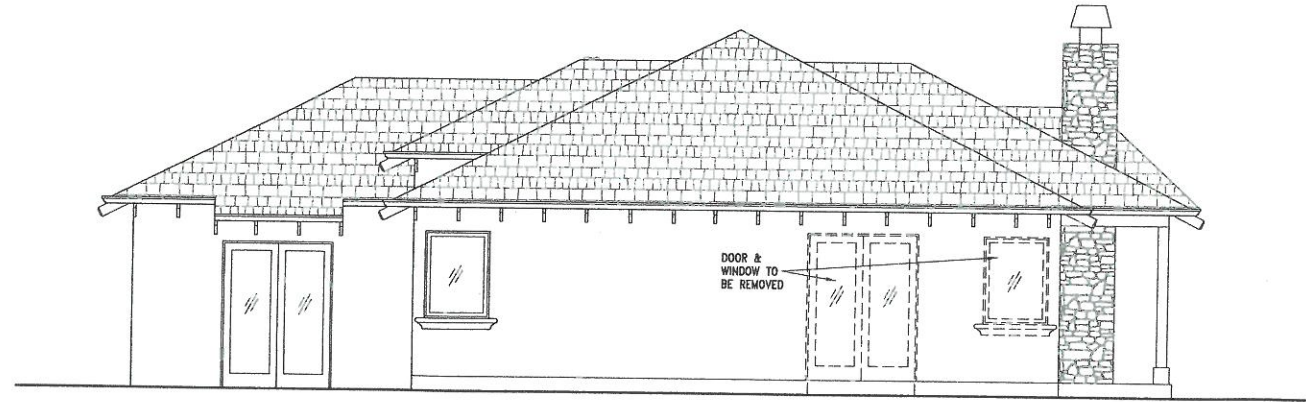
A4



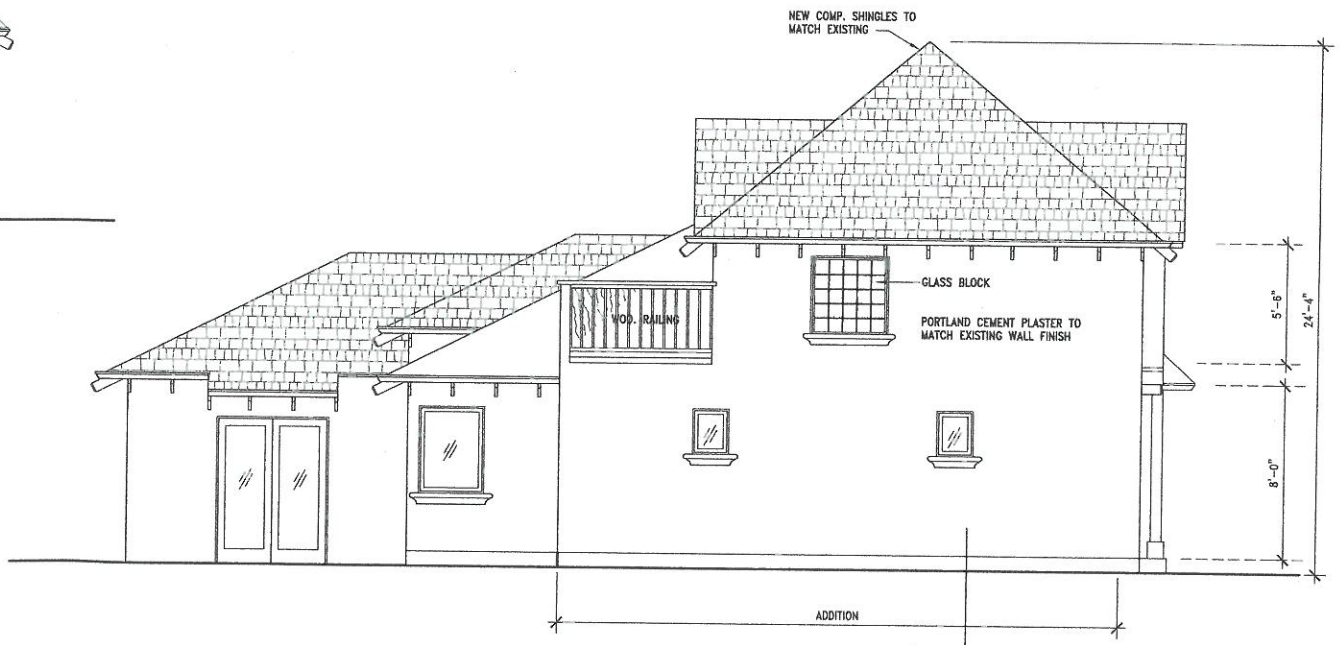
Existing South (Del Monte side)



Proposed South (Del Monte side)



Existing West (rear)



Proposed West (rear)

